

October 10th, 2024

File No.: 2019-05

Mike Rolph, CBCO
Director of Building and Planning
Chief Building Official
Municipality of South Huron
PO Box 759, 322 Main Street South
Exeter, ON
NoM 1S6

**RE: Zoning By-law Amendment Application
70786 Bluewater Highway, Municipality of South Huron
Tridon Properties Ltd.**

On behalf of Tridon Properties Ltd. ("Owner"), we are pleased to submit a Zoning By-law Amendment Application for the following purposes:

1. To address the zoning provision related to the single detached building lots and land within the Sol Haven Subdivision (40T-20006). This request specifically relates to lots 1 to 89 on the Draft Plan of Subdivision (approved January 16th, 2024);
2. To amend the wording of the existing Holding Provision for the single detached building lots to facilitate the construction of one (1) dwelling unit as a model home for the London Health Sciences Dream Home Lottery. The proposed amended wording of the Holding Provision would apply only to those lots that are zoned "R1-17" (lots 1 to 89); and,
3. Minor adjustments to the zone boundaries to align with the approved Redline Draft Plan of Subdivision (approved January 16th, 2024).

The Draft Plan of Subdivision was approved on November 3rd, 2021, and included the approval of 97 lots/blocks for 188 residential dwellings (92 single detached, 25 street townhouses, and a cluster of 71 stacked townhomes/multiple attached), a stormwater management pond, and new municipal roads. A redline to the approved Draft Plan of Subdivision was granted on January 16th, 2024, to reduce the number of dwelling units by six (6).

1 Zoning By-law Amendment Application

With respect to the first zoning request, through the detailed building design process for the single detached building lots within the development, certain zoning provisions were determined to be prohibitive for the construction of bungalow dwellings. To accommodate this housing form, buildings typically have a larger ground floor footprint. As a result, the following relief is being sought from "Residential Low Density (R1-17(H))":

1. To permit a maximum lot coverage of 45% and 50% for all structures, whereas the by-law permits a maximum of 40% and 45% for all structures for Lots 1 to 89 in Draft Plan of Subdivision 40T-20006
2. To permit a side yard setback of 1.2 metres, whereas the by-law requires a minimum of 1.5 metres for Lots 1 to 89 in Draft Plan of Subdivision 40T-20006

3. To permit a rear yard setback of 6.0 metres, whereas the by-law requires a minimum of 7.0 metres for Lots 16 to 43 in Draft Plan of Subdivision 40T-20006

It is further noted that the South Huron Zoning By-law includes land area associated with decks, porches and balconies within the permitted maximum lot coverage. In this regard, the percentage lot coverage exceeds that of just the dwelling unit itself. In our opinion, the intent of this approach to defining lot coverage is to ensure that the maximum amount of impervious cover by buildings and structures is established in the zoning by-law and that proper stormwater management practices can be implemented. In support of the Application, GRIT Engineering has reviewed the detailed engineering design, including grading design and stormwater management. Their review concluded that these design modifications can be accommodated on the Site, while maintaining the detailed engineering design reviewed by the Municipality of South Huron.

As illustrated on the attached typical lot design, the lots within the Site can comply with all other zoning provisions, including front yard setbacks, building height, minimum landscaped open space, and off-street parking.

The second request within the Amendment Application to amend the specific wording of the Holding Provision that applies to the single detached building lots (Lots 1 to 89). The approved wording, through the approval in 2021 stated that:

The -H holding zone symbol may be removed when the conditions of draft plan of subdivision approval for the R1-17- lands have been met.

To facilitate the construction of one (1) model home on Lot 3, in advance of the satisfaction of all conditions of draft approval, the following amended wording is proposed:

The -H holding zone symbol may be removed when the conditions of draft plan of subdivision approval for the R1-17 lands have been met. Prior to the -H symbol being removed, one single detached dwelling may be constructed within the R1-17-H zone. The single detached dwelling may be constructed notwithstanding Section 3.26.15.5 (maximum driveway width) of the by-law. It must be built within lot 3 as identified in the draft plan dated November 2023. Occupancy of the single detached dwelling is not permitted until final approval of the subdivision is granted.

The proposed wording also for the model home to be constructed; however, full occupancy of the homeowners cannot occur until all conditions of the Draft Plan of Subdivision have been satisfied. In this regard, the amended wording only provides the Owner with the ability to start construction while the final components of the draft plan conditions are addressed through late fall 2024. We would note that the detailed engineering drawings for the servicing of the development have been accepted by the Municipality of South Huron and the Owner is working with staff on immediately signing the Subdivision Agreement. Further, detailed work is being completed with the Ministry of Transportation and an MTO Land Use Permit would be required to be issued before construction can commence on the model home.

The Owner has retained the services of their civil engineer to confirm that the model home can be constructed and serviced, without the extension of the sanitary trunk sewer. Once the trunk sewer is extended the dwelling can be connected to full municipal services. A schematic of the model home on Lot 3 is appended to this submission.

The requested amendment to the zoning map for the Site is as a result of the Redline Draft Plan of Subdivision and minor adjustments to the boundaries of the zoning for the single detached dwellings (R1-17) and street townhouse dwellings (R3-14). A copy of the revised amending mapping is appended to this letter. The net effect of the Redline Draft Plan of Subdivision was the reduction in the total of dwelling units by three (3). The general road network and location of specific unit types and densities was maintained through the Redline and this subsequent minor amendment to the zone boundaries.

2 Planning Policy Framework

Provincial Policy Statement

The Provincial Policy Statement ("PPS"), 2020 is a province-wide policy document that sets the foundation for regulating development and land use in Ontario. The PPS is issued under Section 3 of the *Planning Act*. The PPS "provides for appropriate development while protecting resources of provincial interest, public health and safety, and the quality of the natural and built environment."

In our opinion, the Application is consistent with the PPS and have regard for the applicable policies, by:

- By facilitating a range of housing options and development standards for new residential development that minimize the cost of housing and facilitate a compact form (section 1.4.3); and,
- Optimizing existing and planned municipal infrastructure through municipal water, storm and sanitary pipes, and the existing road network (Section 1.6.6.1 and 1.6.7.2).

The Province of Ontario has released a new Provincial Planning Statement ("new PPS") that comes into force and effect on October 20th, 2024. Given the impending application of the new PPS, this letter considers any applicable policy implications.

The housing policies under Section 1.4.3 of the PPS have been amended in the new PPS to provide a stronger mandate on supporting a range and mix of housing types. Specifically, Section 2.2.1 b). 2 states references the need to introduce new housing options.

In our opinion, the Proposed Development and implementing Application is consistent with the new PPS, which further supports providing housing to meet community needs.

County of Huron Official Plan, 2015

The purpose of the Huron County Official Plan ("County OP"), is outlined in Section 1.2, stating that:

The County Official Plan is a statement of the community and is presented in the words of the community. It is a record and guide. Not only does it provide direction for the activities of individuals and community organizations, the County Official Plan provides guidelines to local municipalities for the development of local official plans. The policies and actions are general policies and are provided as guidelines.

The County OP includes five (5) resource maps, provided as reference, not land use designations. The local official plans will provide detailed mapping and land use designations. The Site is identified as a "Settlement Area", which are built-up areas where development will be concentrated. Huron County's Settlement Areas include Towns, Villages, Hamlets, and Lakeshore Residential Areas. The Port Blake Planning Area is considered a Primary Settlement Area (PII).

Section 7.3.2 of the County OP provides policies related to housing within settlement areas, stating communities will contain an increase in overall density, adaptable housing forms and all housing options to meet the needs of the community.

In our opinion, the Application conforms to the policies and actions of the County OP by directing residential growth to areas identified for development and considering development standards that will provide for the construction of a range of housing forms, including bungalows for an aging population.

South Huron Official Plan, 2003 (Consolidated February 2024)

The South Huron Official Plan (OP) identifies the "resources, capabilities and constraints of the land and the community." The Site is part of the Port Blake Planning Area of the South Huron Official Plan and designated as "Residential". ("OP"). Section 7.2 b) of the OP defines the Port Blake Planning Area as a Primary II Settlement Area as areas that are fully serviced and have potential to accommodate growth.

General goals for settlement areas include (Section 7.3), but not limited to:

1. Growth shall be directed first to primary settlement areas with municipal sewer and water services.
3. Applications for new residential development will be required to demonstrate how they help to achieve affordable housing and intensification targets.
4. Before considering an expansion to any settlement area boundary, intensification and infill development will be encouraged within existing urban settlement areas, especially where municipal water and sewer is available.
5. Socio-economic, cultural, and ethnic diversity will be promoted through the development of healthy, active and walkable communities. Walkability will be incorporated in existing and new development to implement the International Charter for Walking signed by the Municipality of South Huron in April 2012.
6. Great urban spaces will be created by applying high standards of design.
7. Vibrant neighbourhoods will be built within complete communities that attract people and make them want to stay.
8. Urban natural environment, parks and open space are provided to create recreational opportunities within the community and to protect natural landscapes and hazard land.

9. Care is taken to establish land uses in a way that promotes compatibility and minimizes conflict through the creative use of landscaping, site and building design, and setbacks.

Section 7.4.4.1 addresses affordable housing in settlement areas, stating that a full range of housing forms and ownership structures shall be encouraged to meet the needs of current and future residents. The Municipality will encourage housing for low- and moderate-income households, with a minimum affordable housing target of 30% of all new residential development (Section 7.4.4.3.3).

Goals for Primary II Settlement Areas include (Section 7.8.3):

1. Provide opportunities for new residential, commercial, industrial and community facility uses to meet the needs of the settlement area and surrounding community.
2. To prevent fringe or sprawl development patterns by encouraging an efficient concentration of urban uses.
3. Provide a broad mix of housing choices, both to rent and own, insufficient supply and variety in type, cost, affordability and location to meet the housing needs of the community.
4. Permit a mix of uses to locate local services in proximity to residential uses in such a way that it creates walkable neighbourhoods.
5. Maintain stable and create new residential neighbourhoods and green spaces that are safe, well-lit, well-designed, attractive and walkable.
6. Ensure compatibility between land uses through the use of setbacks, building and site design, landscaping and open space to minimize conflicting land uses.
7. Meet the urban natural environment, parks and open space needs of the community and to protect the natural landscapes that exist within and adjacent to settlement areas.

New residential development within the Primary II Settlement Area shall meet the following criteria (Section 7.8.4.3.6):

- a. Height and massing of medium and high density housing shall be compatible with the character and density of the surrounding residential area;
- b. To the furthest extent possible, natural areas and existing trees be protected and incorporated into the design of the site;
- c. Adequate road access shall be provided and all parking shall be off-street;
- d. Sidewalks and trails shall be incorporated and connected into developments to promote and enhance walkability of residential developments;
- e. Landscaping, provision of green, open space and tree planting will be provided to achieve a welcoming, pedestrian-scale environment, and enhance the appearance of the development and its compatibility with surrounding residential areas;
- f. Connect to full municipal services and demonstrate the ability to manage storm water, lot grading and drainage on-site;
- g. A high standard of building design is emphasized, including accessibility design features;
- h. Siting and design of buildings and structures shall be compatible with surrounding residential uses;
- i. Adequate on-site amenities shall be provided;

- j. Safe movement of traffic shall be demonstrated and any required improvements to the road network shall be undertaken as part of the development proposal;
- k. Residential development in proximity to Industrial uses shall proceed according to Ministry of Environment Guideline D-6 'Compatibility between Industrial Facilities and Sensitive Land Uses', as updated.

Section 7.10.4.1.4 of the OP provides the policies for land designated "Low Density Residential." Permitted uses include single-detached dwellings, semi-detached dwellings, duplex dwellings, single-storey townhouses with a maximum of 6 attached units, and second residential units, subject to the policies of Section 7.4.4.3.

In our opinion, the Application conforms to the OP by providing for housing options within a defined settlement area, that can be constructed on full municipal services. The review completed by GRIT Engineering demonstrates that the proposed modifications to the zoning provisions can be accommodated within the existing detailed engineering design for the Site, including lot coverage, rear yard setbacks, and side yard setbacks.

The Application conforms to Section 7.8.4.3.6, providing sufficient land area on the lots to accommodate required parking and landscaped open space.

Furthermore, the construction of one (1) model home addresses the policies of the OP, by ensuring that both access and servicing can be achieved for Lot 3 on an interim basis, until such time as the draft plan conditions have been satisfied.

South Huron Zoning By-law, 2018

The South Huron Zoning By-law, 2018, zones the Site as "Residential – Low Density (R1-17(H))". The Zoning By-law permits a range of residential and accessory uses, including single detached dwellings. The following table provides an assessment of the zoning provisions with the Severed Lot and Retained Lot.

R1-17 (H) Provision (Section 19)		Proposed Lots	Compliance
Minimum Lot Area (interior)	410 sq.m.	Min. 411 sq.m.	Yes
Minimum Lot Area (corner)	540 sq.m.	Min. 546 sq.m.	Yes
Minimum Frontage (interior)	13.7 m	Min. 13.7m	Yes
Minimum Frontage (corner)	18.0 m	Min. 18.2m	Yes
Minimum Property Depth	30.0 m (except om for Lots 5, 6, 45 and 84)	Min. 30.0m	Yes
Minimum Front Yard	4.5m; 6.0m to garage	4.5m; 6.0m to garage	Yes
Minimum Side Yard	1.5 m	1.2 m	No
Minimum Exterior Side Yard	4.5 m	Min. 4.5m	Yes
Minimum Rear Yard	7.0 m	6.0 m	No
Maximum Zone Coverage	40%	45%	No

R1-17 (H) Provision (Section 19)		Proposed Lots	Compliance
Minimum Landscape Open Space	30%	49%	Yes
Maximum Building Height	14.0 m	< 14.0m	Yes
Minimum Off-Street Parking	1/unit	Min. 1	Yes

The lots will continue to comply with all other provisions, including building height, building setbacks, landscaped open space, and off-street parking.

As part of this submission, Baker Planning Group has completed a benchmarking assessment of other municipal zoning provisions for low density zones that permit single detached dwellings. The following is a summary of established permissions, as well as approved variations to the provisions, based on more current land use planning approvals.

Municipality	Lot Coverage*	Rear Yard Setback	Side Yard Setback
Middlesex Centre	40% to 50%	6.0m	1.2m
Lambton Shores	30% to 45%	7.0m	1.0m
London	35% to 45%	4.5m to 7.0m	1.2m (one-storey); 1.5m (two storey)
Stratford	<i>45% (however, up to 50% for single storey)</i>	6.0m	1.0m (one-storey); 1.5m (two storey)
North Perth	Up to 50%	6.0m to 7.5m	1.2m (one-storey); 1.5m (two storey)
South Bruce	40% to 50%	7.5m	1.2m

*Note: italicized lot coverages are those that are not required to include decks in the lot coverage calculation.

Huron County Residential Intensification Guidelines, 2020

The Residential Intensification Guidelines (November 4, 2020) provide a “framework to guide the planning and design of residential intensification projects within the County. These guidelines are intended to be used by property owners, developers, builders, architects and planners in preparing plans for intensification projects.” The Guidelines are to be used for Zoning By-law Amendment, the review of Site Plan Control applications, and through the variance and consent processes of the Committee of Adjustment.

Overall design goals and principles include a high standard of design with varying architectural styles, affordability and compact housing forms, active transportation (sidewalks, trails), heritage and cultural retention, sustainable and climate ready design and universal and age friendly design.

The Guidelines relate to the macro design considerations, but also building design, window placement, building heights, parking lots, building materials, architectural details, landscaping and servicing. For the proposed single detached building lots, these will be further considered at the time of Building Permit.

Guidelines that are relevant to the Zoning By-law Amendment Application include:

- Section 3.14 – Introduce a range of unit types within residential neighbourhoods to allow residents to age in place.
- Section 5.1 – A variety of housing types and built form should be accommodated with density encouraged adjacent to the collector and arterial roads and/or near neighbourhood parks.

The overarching intent of the Guidelines is to promote new housing that contributes to affordability, an aging population and provides for the efficient use of land. In our opinion, the Guidelines that apply to the nature of a Zoning By-law Amendment Application have been incorporated through the following measures:

1. Request for reduced yard setbacks will provide variation in building placement to create design interest and flexibility in building design.
2. Providing a range of housing types and densities to accommodate housing that is accessible

Summary of Planning Opinion

In our opinion, the Application represents good land use planning, is appropriate, and in the public interest as it locates a range of residential housing forms with a defined settlement area and is designated and zoned for residential uses. The provincial and local policy framework have both identified the need for a greater range of housing types, and the proposed bungalows will facilitate this mix.

With the proposed lot coverage increase, site design needs such as off-street parking, amenity area, and landscape open space can be maintained and in compliance with the Zoning By-law. As illustrated on the Conceptual Lot Design, all lots would exceed the required landscaped open space of 30%.

The reduced building setbacks continue to provide sufficient land width to connect the front and rear yards and outdoor amenity area. Appropriate grading and stormwater management can be achieved to ensure no negative impact to surrounding lands due to the increased lot coverage and the overall approved engineering design.

With respect to the requested amended wording to the Holding Provision, we are of the opinion that it is appropriate to facilitate the development on the Site, with regard to ensuring compliance with the MTO, the Municipality of South Huron and the Ontario Building Code.

Summary

In support of the Zoning By-law Amendment Application, we are enclosing the following documents:

- The Conceptual Lot Layout for the proposed zoning provisions
- Sample house designs with floor plans
- Lot 3 Site Plan
- The Executed Zoning By-law Amendment Application Form (CloudPermit)

We trust the submission can be accepted and circulated for review.

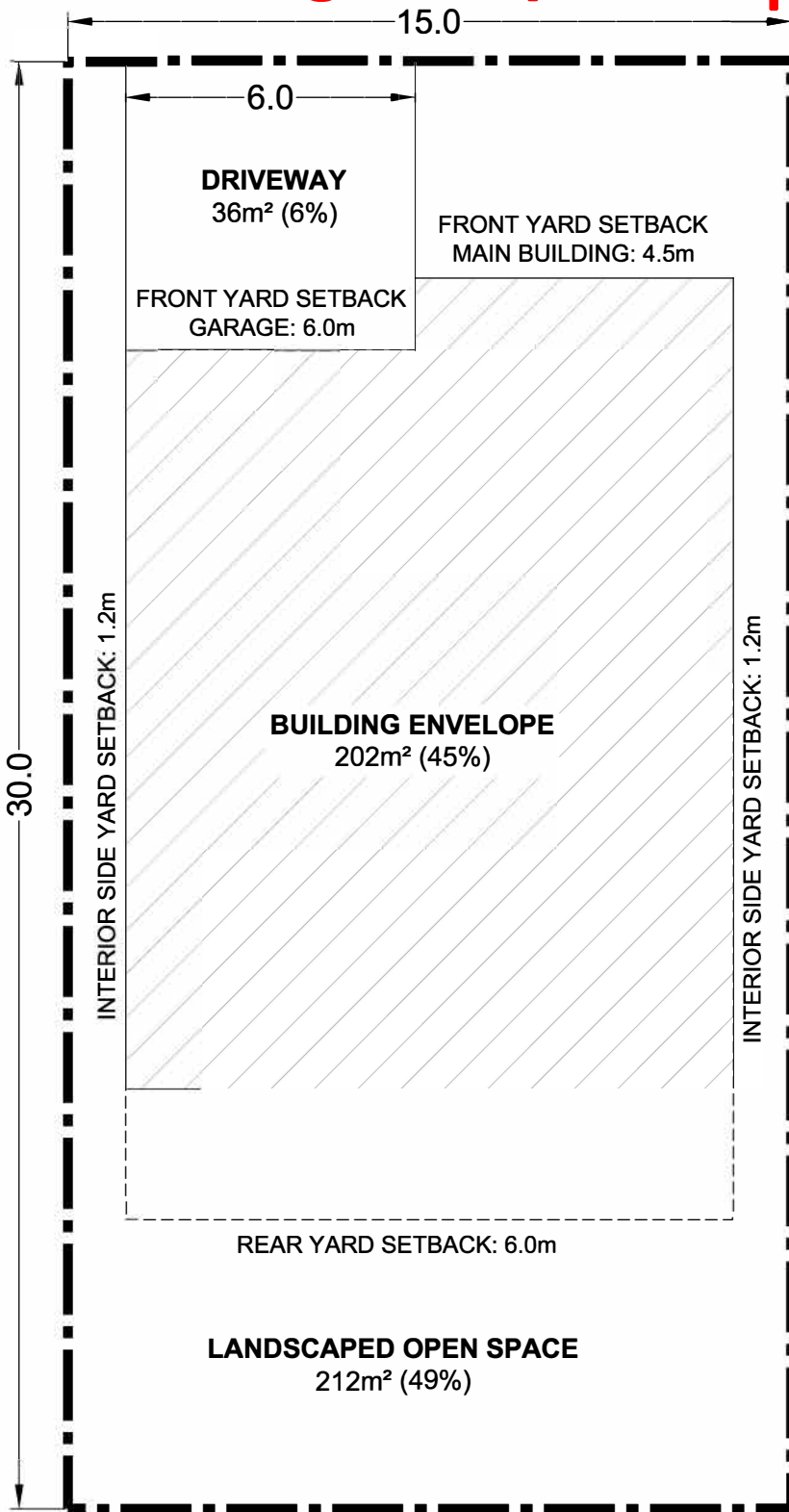
Kind regards,



Caroline Baker, MCIP, RPP
Principal

c.c. Owners

Zone Change Request #1



RESIDENTIAL LOW DENSITY (R1) ZONE		
	REQUIRED	PROPOSED
Zone area interior property (min.)	450m ²	-
Zone area corner property (min.)	540m ²	-
Frontage interior property (min.)	15m	-
Frontage corner property (min.)	18m	-
Property depth (min.)	30m	-
Front Yard (min.)	main dwelling: 4.5m attached garag: 6m	-
Interior side yard (min.)	1.5m	1.2m
Rear yard (min.)	7.0m	6.0m
Zone coverage	all structures: 45% main building: 40%	45%
Landscaped open space (min.)	30%	-
Building height (max.)	14m	-

Sheet Title:

MINOR VARIANCE SKETCH - INTERIOR LOT

Scale: 1:1,000 METRIC

Date: 09/24/2024

File Location: 200802_nv40-kblaynut

Drawn By: J.THIBERT

Project Name:

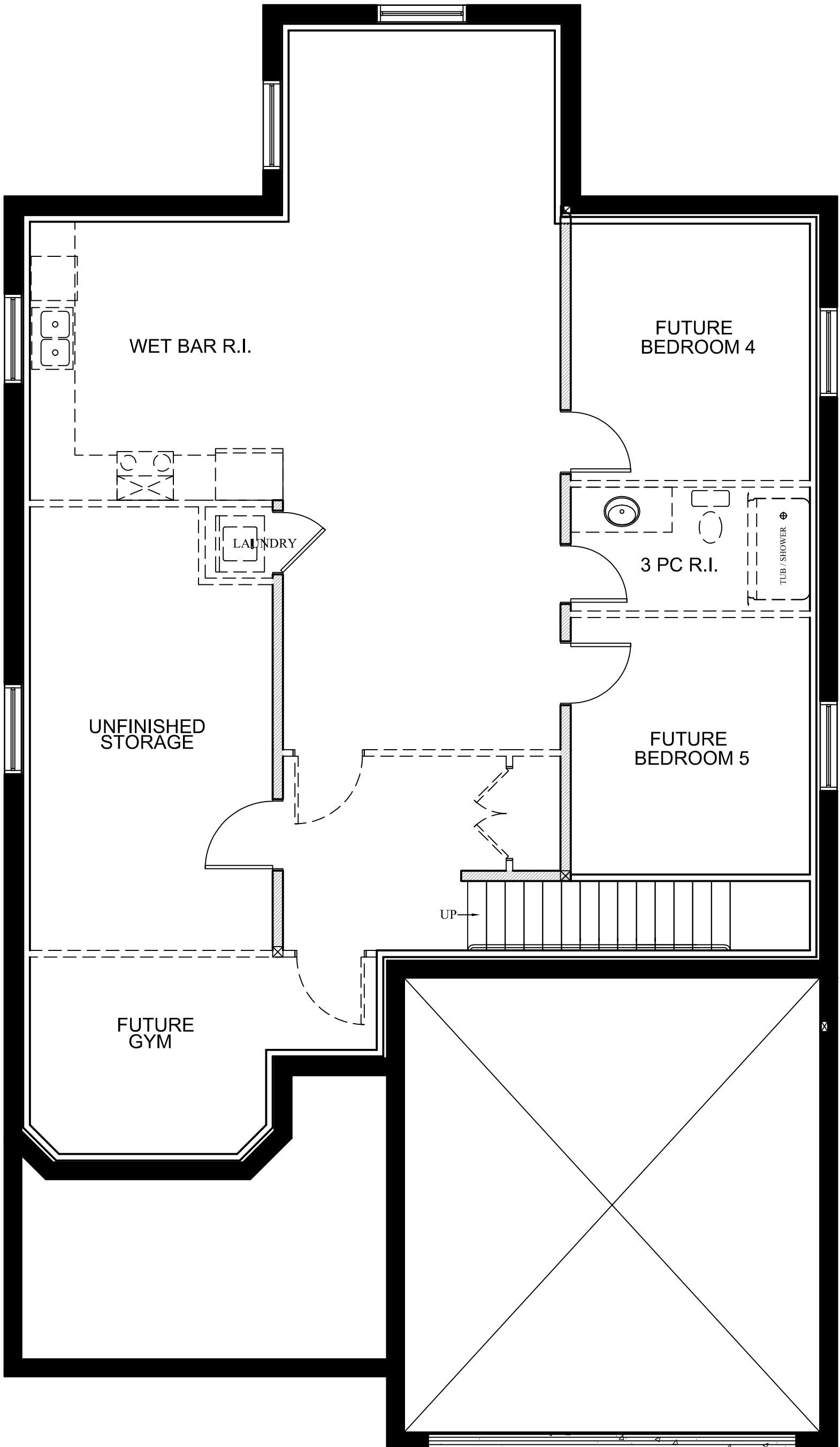
PART OF LOTS 2, 3 AND 4
LAKE ROAD EAST CONCESSION
AND PART OF LOTS 2, AND 3
LAKE ROAD WEST CONCESSION
GEOGRAPHIC TOWNSHIP OF STEPHEN
MUNICIPALITY OF SOUTH HURON
COUNTY OF HURON

BAKER
Planning Group

FOUNDATION PLAN

PLUM MODEL

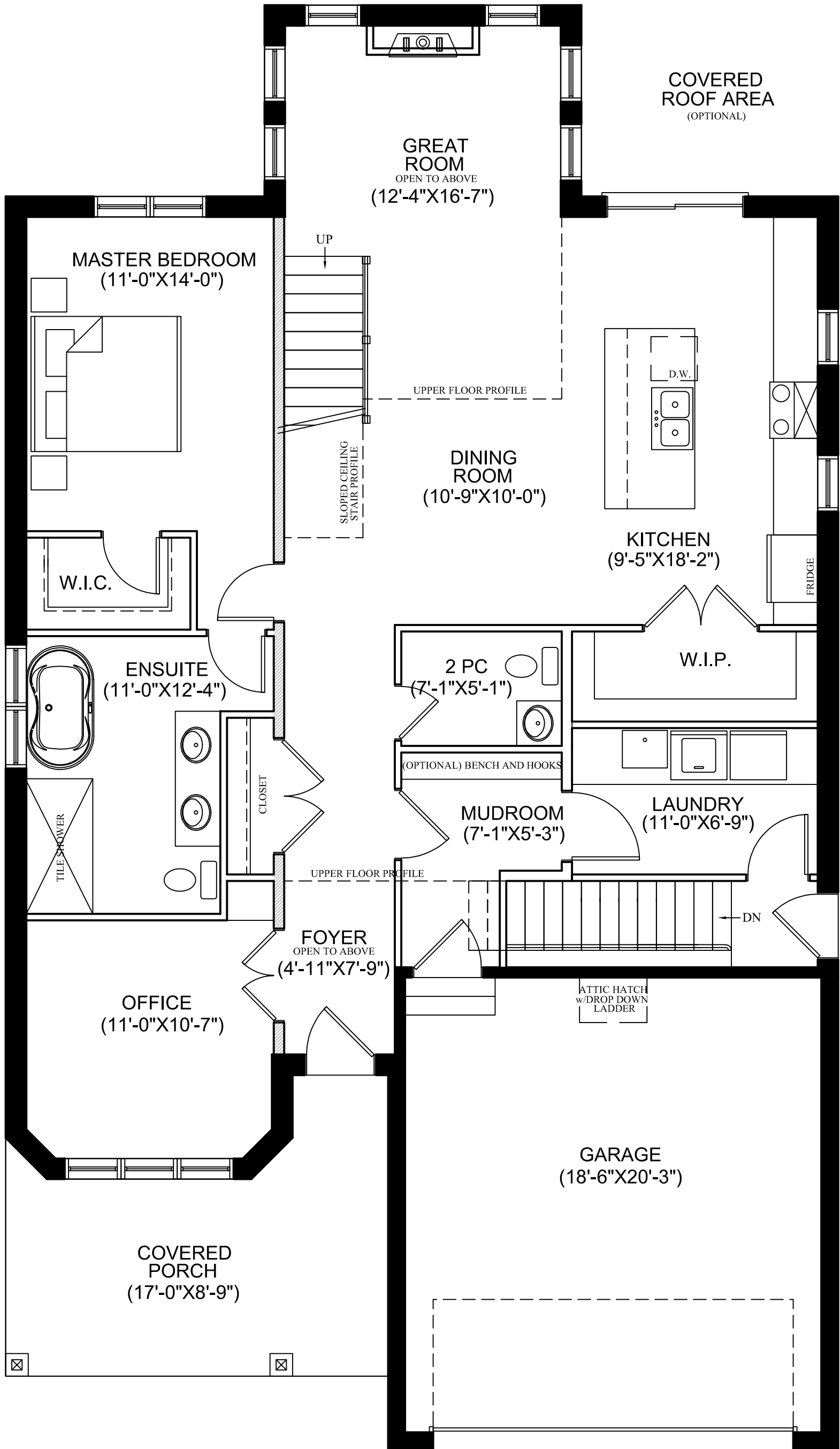
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MAIN FLOOR PLAN

PLUM MODEL

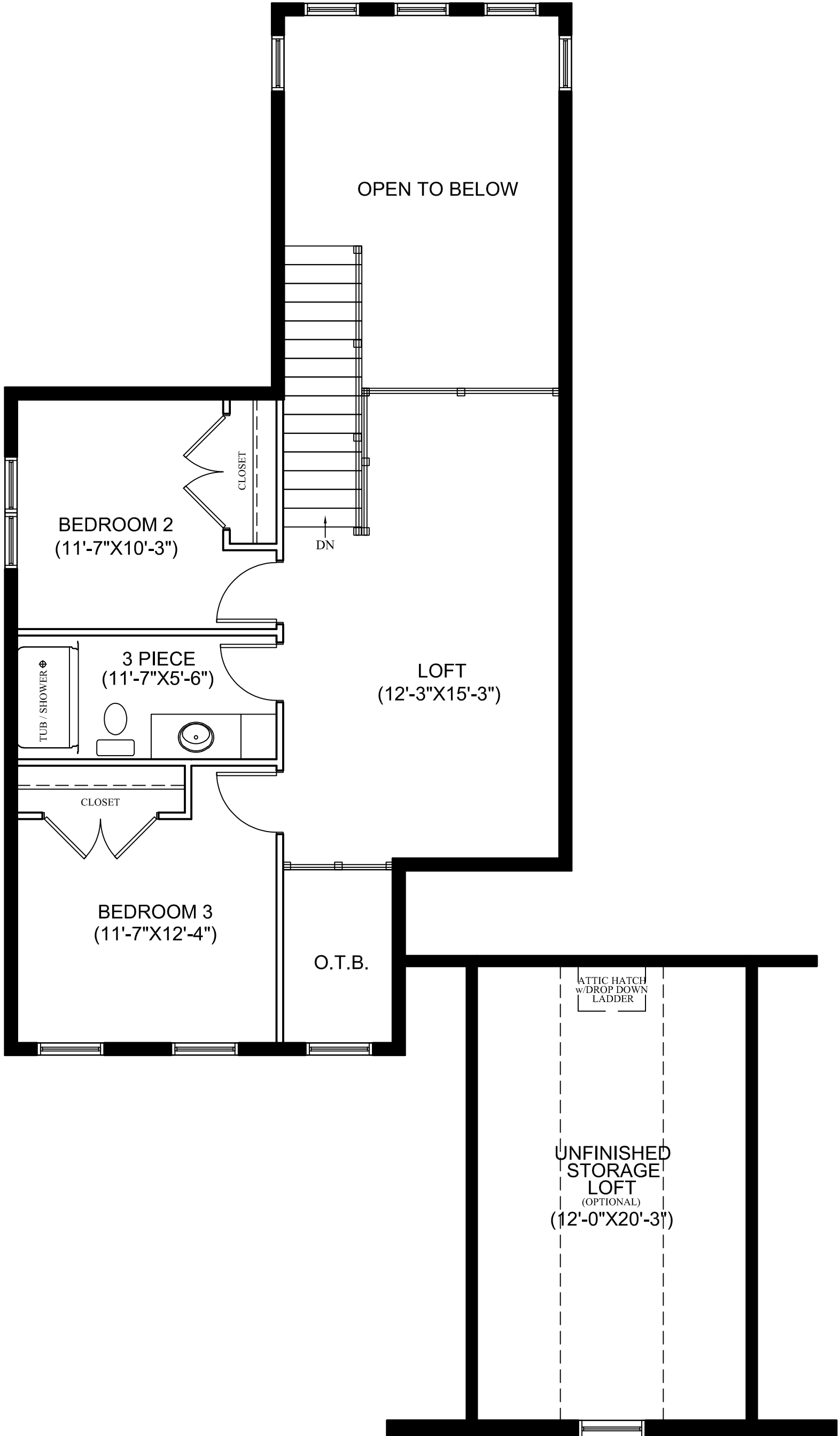
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UPPER FLOOR PLAN

PLUM MODEL

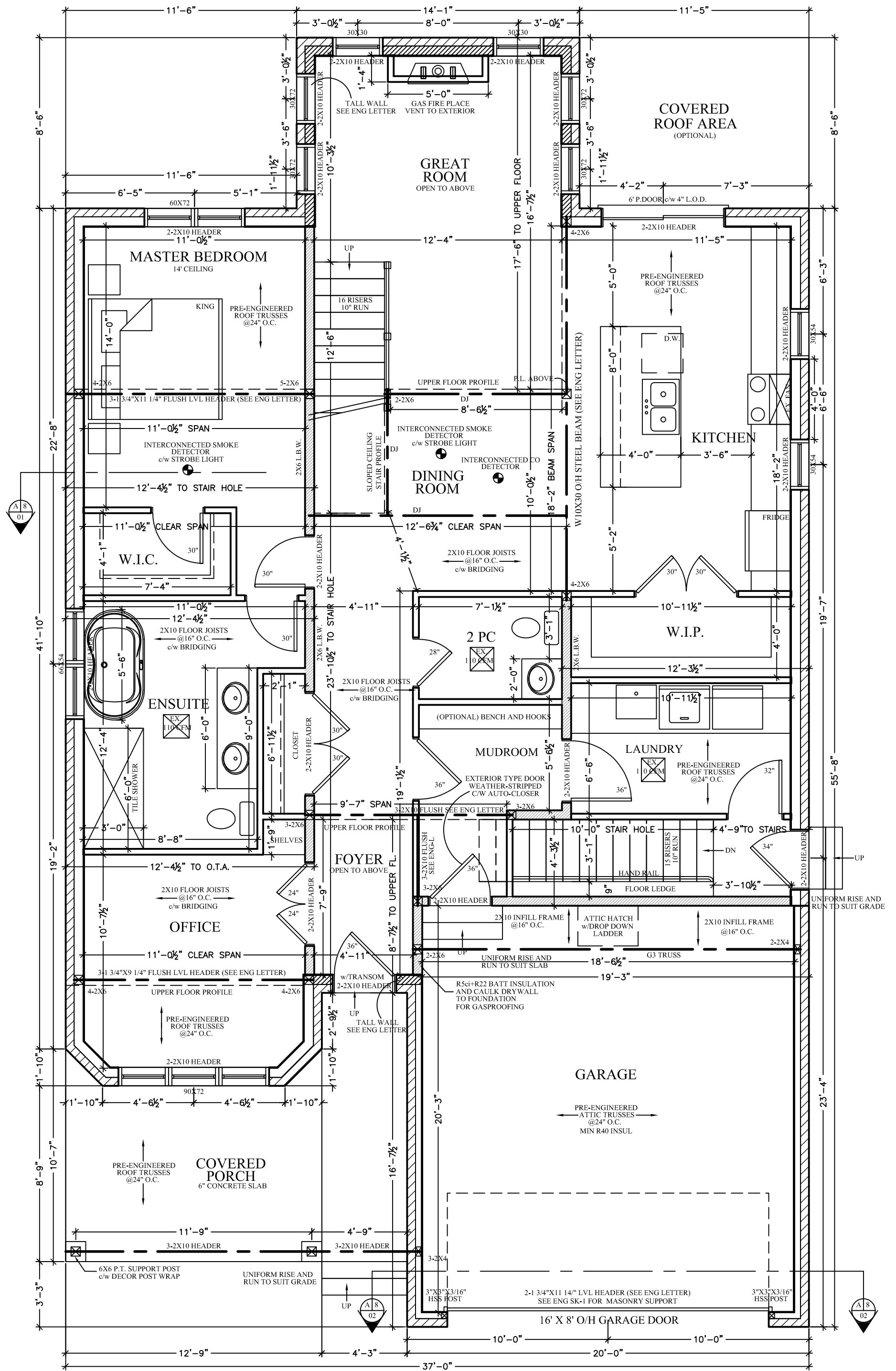
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MAIN FLOOR PLAN

PLUM MODEL

N.T.S.

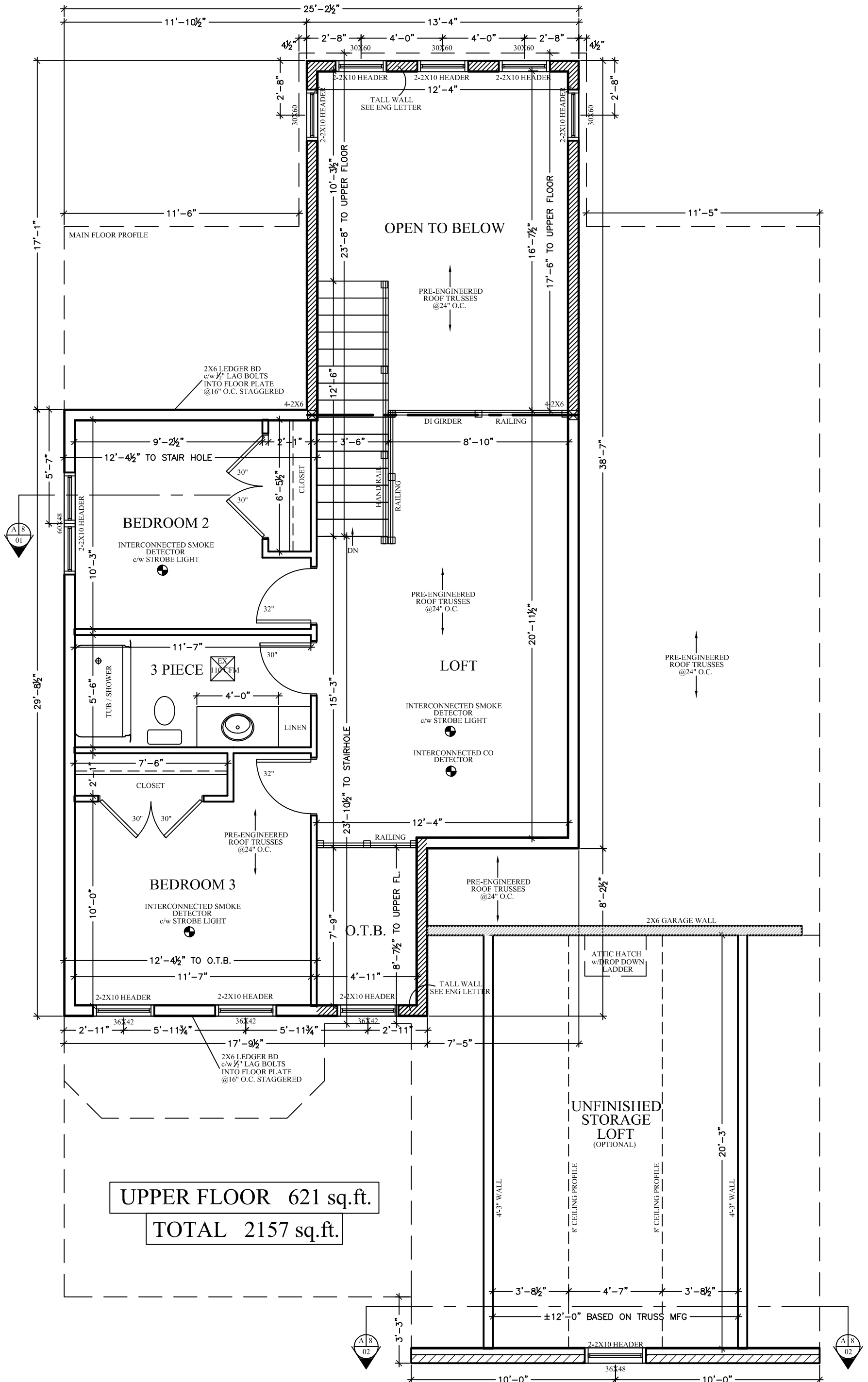


MAIN FLOOR 1536 sq.ft.

UPPER FLOOR PLAN

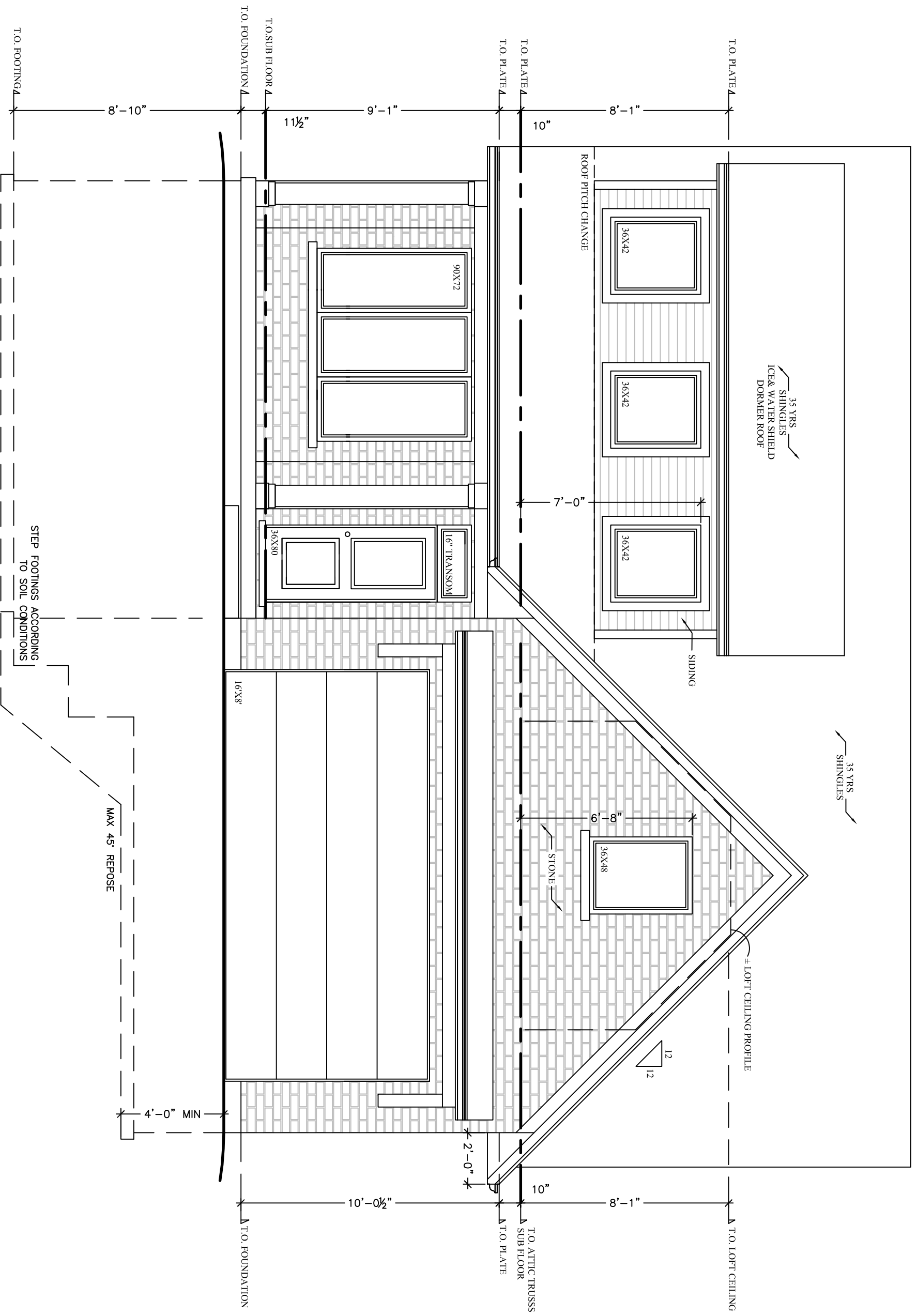
PLUM MODEL

N.T.S.



FRONT ELEVATION

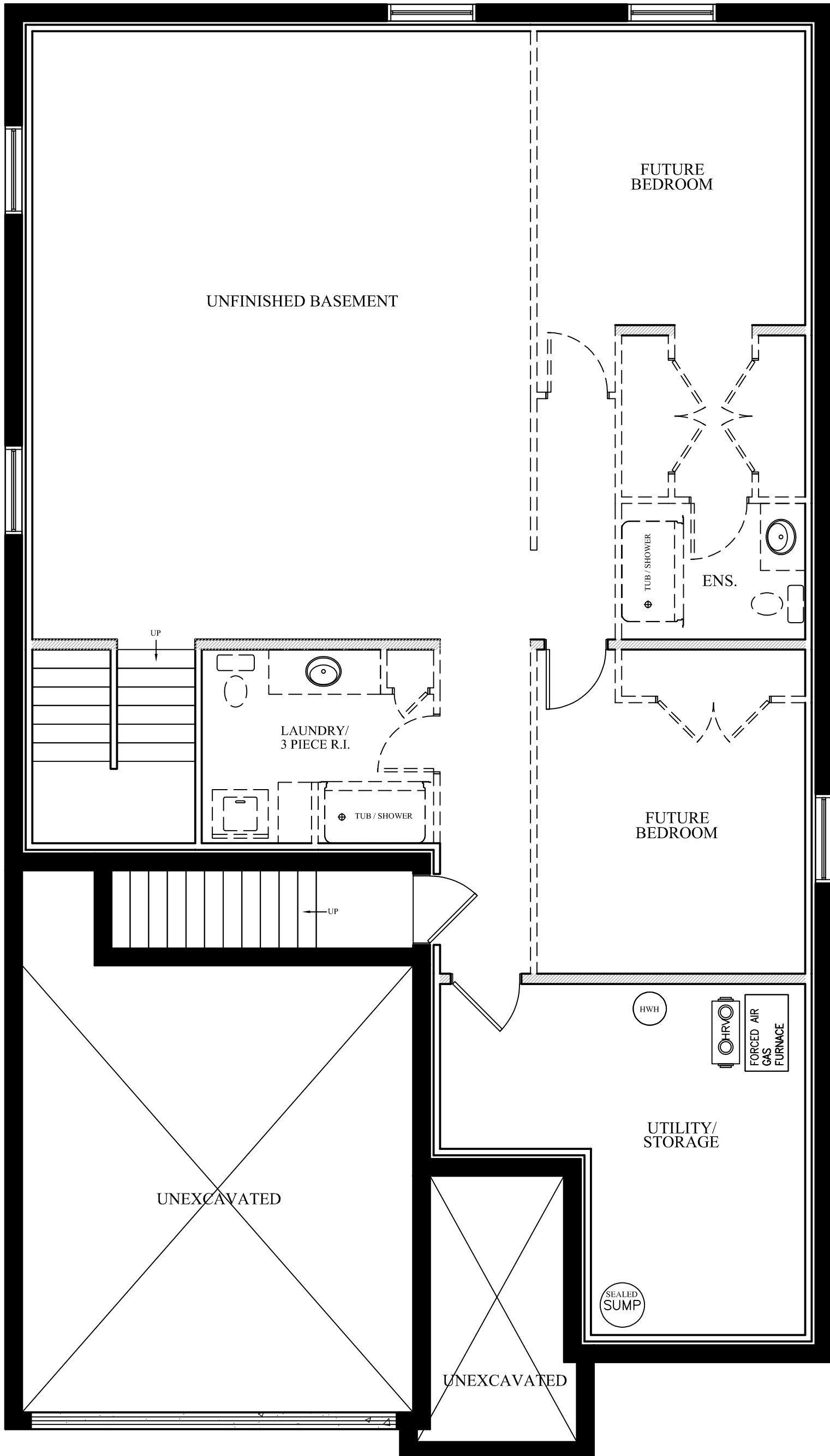
PLUM MODEL N.T.S.



FOUNDATION PLAN

ORCHID MODEL
BLACK LINES

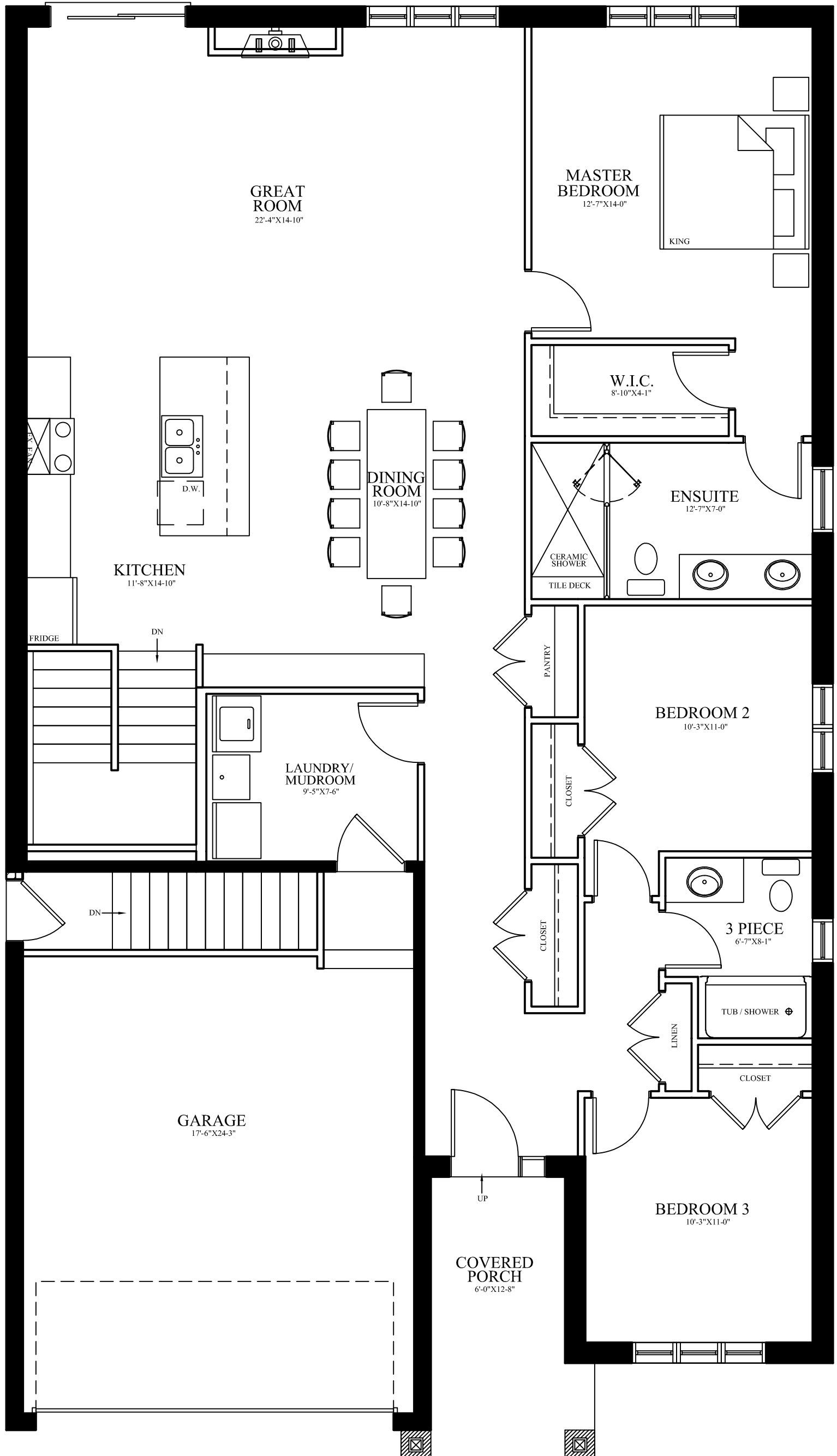
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MAIN FLOOR PLAN

ORCHID MODEL
BLACK LINES

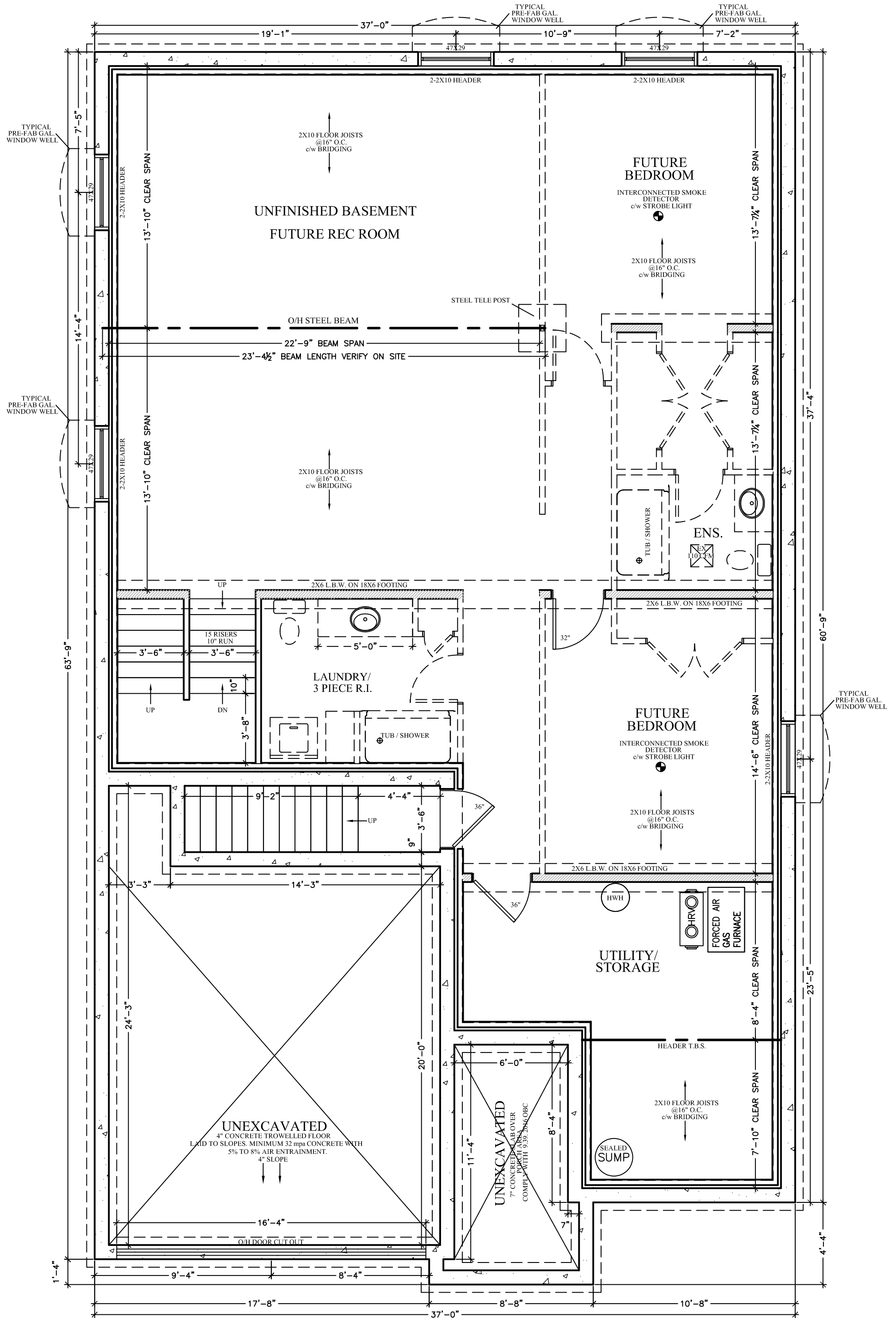
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FOUNDATION PLAN

ORCHID MODEL

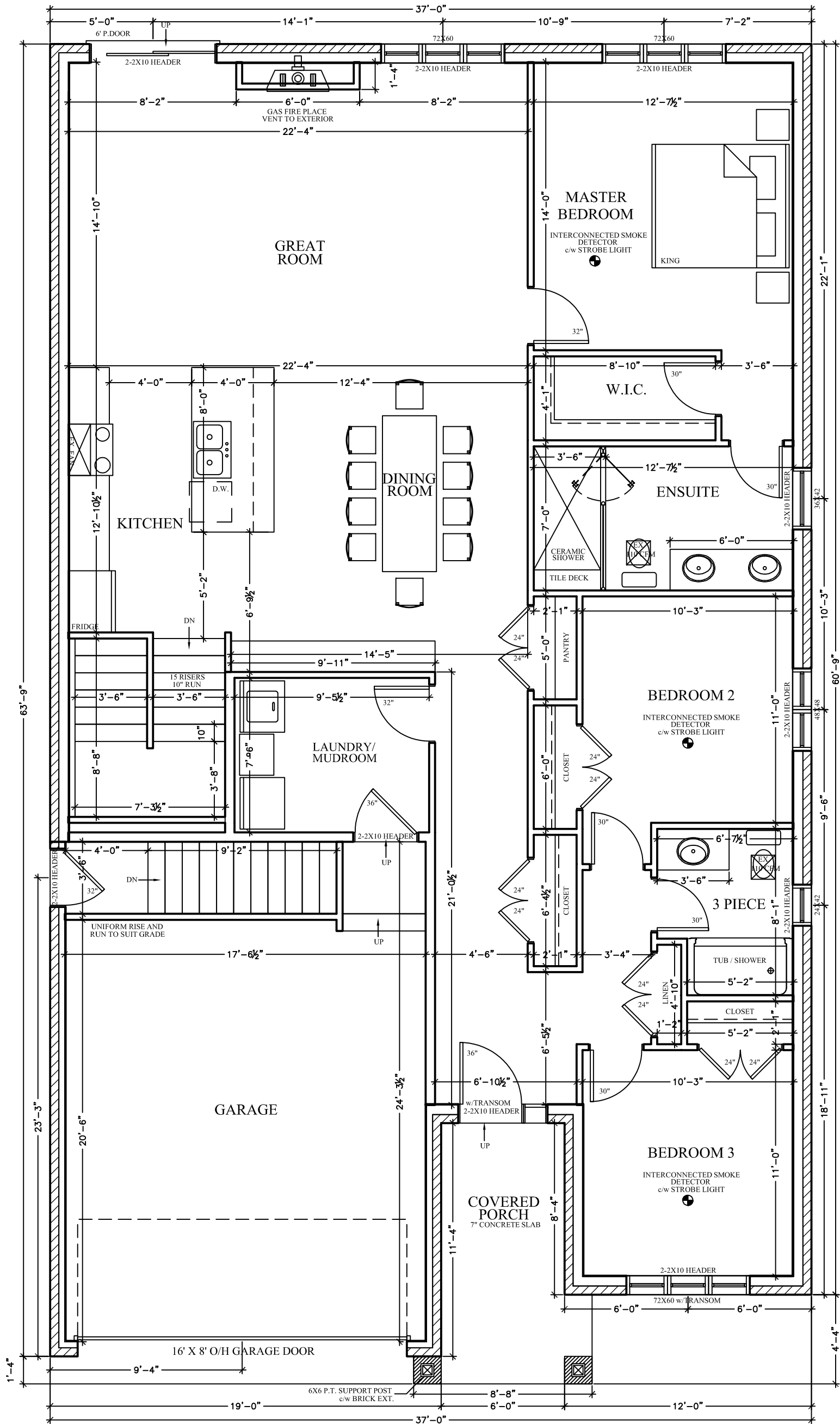
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MAIN FLOOR PLAN

ORCHID MODEL

N.T.S.



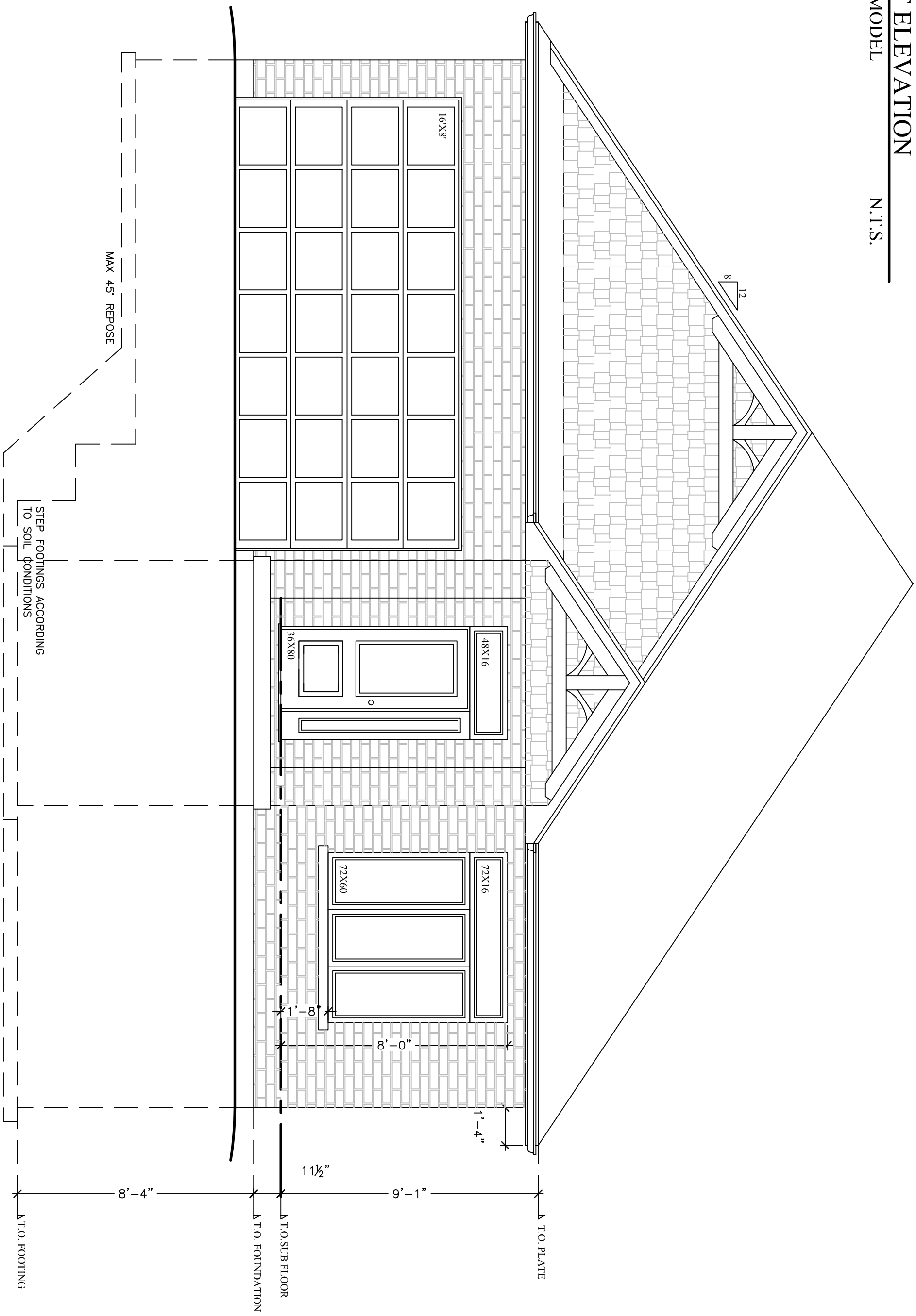
MAIN FLOOR 1790 sq.ft.

FRONT ELEVATION

ORCHID MODEL

OPTION 2

N.T.S.

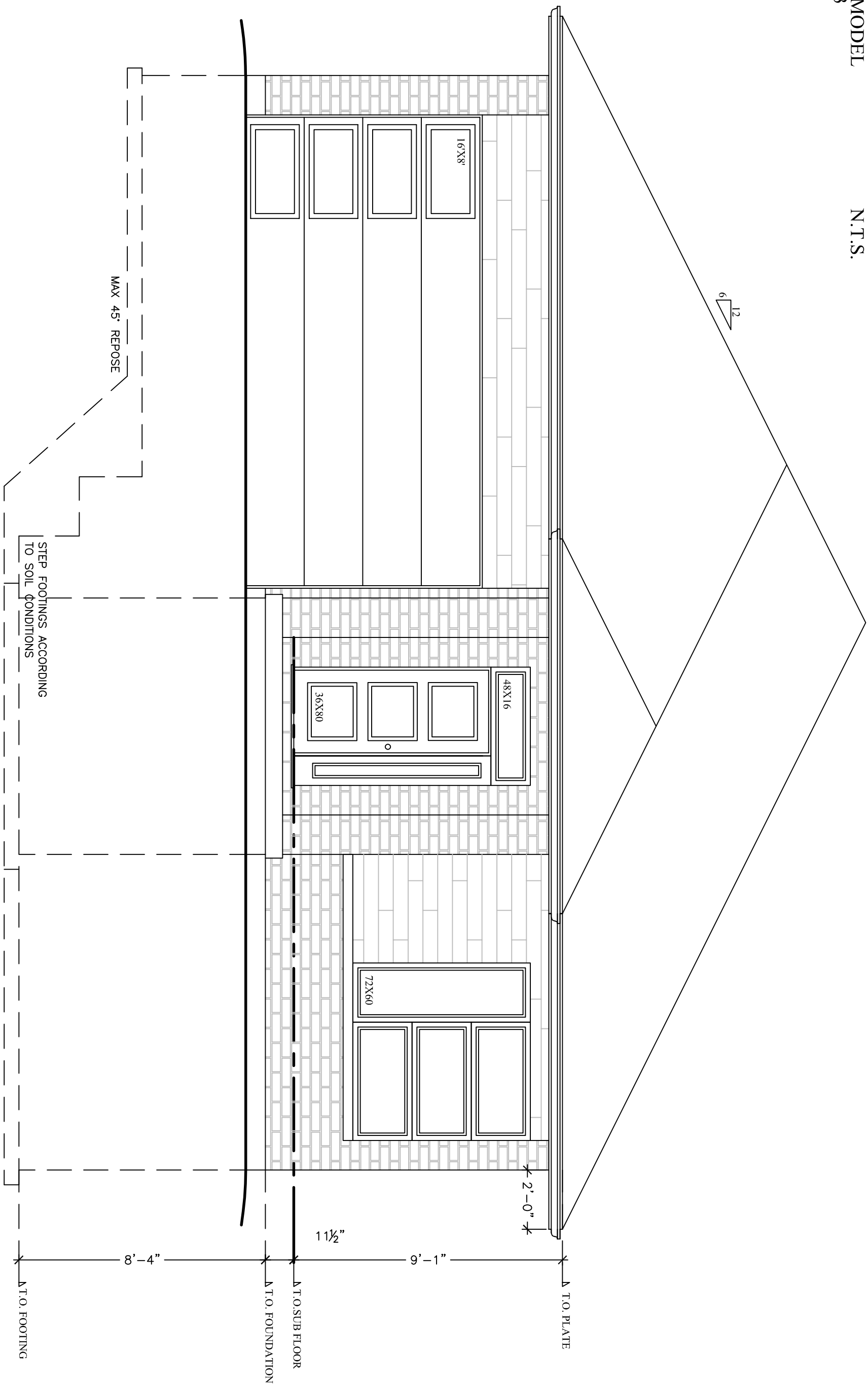


FRONT ELEVATION

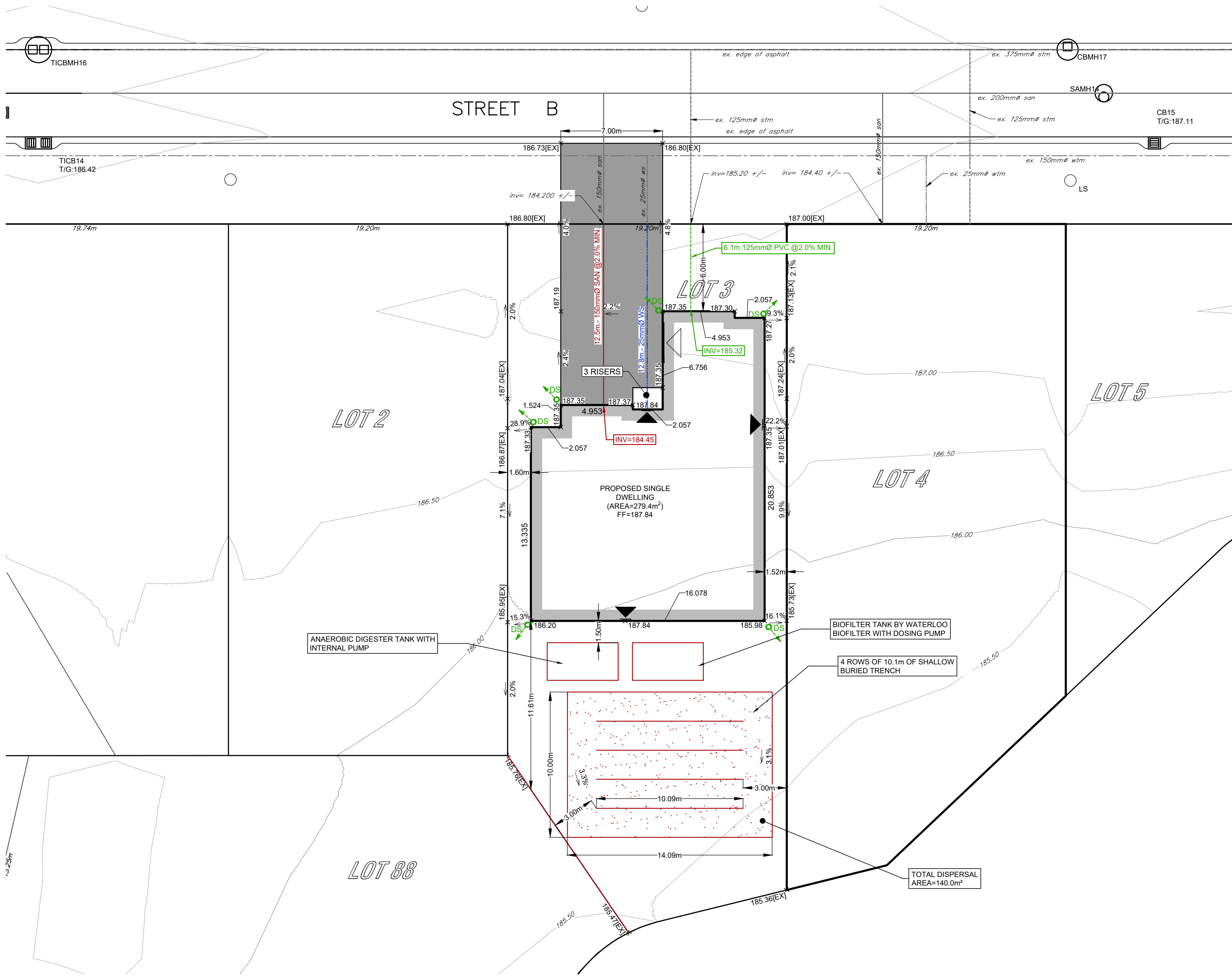
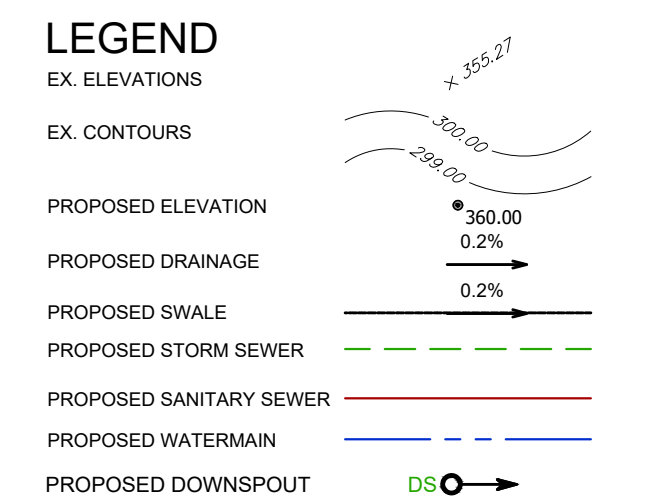
ORCHID MODEL

OPTION 3

N.T.S.



ZONING INFORMATION:		
ZONING TYPE:	RESIDENTIAL-LOT DENSITY	
ZONE:	R1-17-H	
LOT AREA	REQUIRED BY ZONING BYLAW INTERIOR 450m ² (MIN.) CORNER 540.0m ² (MIN.)	PROPOSED 869.59m ²
LOT FRONTAGE	13.70m (MIN.)	19.2m
FRONT YARD DEPTH	4.5M (MIN) FOR MAIN BUILDING 6.0M (MIN.) FOR AN ATTACHED GARAGE	6.0m
EXTERIOR SIDEYARD	4.5m (MIN.)	N/A
REAR YARD DEPTH	7.0m (MIN.)	11.6m
INTERIOR SIDE YARD DEPTH	1.5m (MIN.)	1.52m
LOT COVERAGE	40.0% (MAX.)	32.1%
LANDSCAPED OPEN SPACE	30.0% (MIN.)	39.6%



GRIT ENGINEERING
 133 REGENT STREET, STRATFORD, ON N5A 3W2
 www.gritengineering.ca

CONSTRUCTION NOTES:
 CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY ERRORS TO THE ENGINEER PRIOR TO COMMENCEMENT OF WORK.

ALL DRAWINGS SHALL REMAIN THE PROPERTY OF THE ENGINEER AND SHALL NOT BE REUSED WITHOUT THE ENGINEER'S WRITTEN PERMISSION.

DRAWING SHOULD NOT BE SCALED FOR DIMENSIONS PURPOSES. THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSES INDICATED.

No.	ISSUED DESCRIPTION	DATE
1	ISSUED FOR CLIENT REVIEW	2024-10-08
2		
3		

DRAWING NAME:
LOT GRADING PLAN
LOT 3 SOL HAVEN SUBDIVISION
GRAND BEND, ONTARIO

CLIENT NAME:
MAGNUS HOMES

DATE:
2024-10-08

SCALE: 1 : 200 METRIC

PROJECT NO:
GE24-0387-2.3

DRAWN BY: DG DRAWING NO. LGP1
 CHECKED BY: MF

GENERAL NOTES

- GRIT ENGINEERING INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION (EXISTING TOPOGRAPHY, BENCHMARKS, PROPERTY BOUNDARY, BUILDING DIMENSIONS, ETC.) PROVIDED BY OTHERS.
- EXISTING INFORMATION ILLUSTRATED WAS DERIVED FROM A TOPOGRAPHIC SURVEY COMPLETED BY GRIT ENGINEERING INC. IN AUGUST, 2023.
- PROPOSED GRADING INFORMATION SHOWN ALONG LOT LINES ARE IN ACCORDANCE WITH THE APPROVED SOL HAVEN SUBDIVISION MASTER GRADING PLAN, DRAWING NUMBER C301.
- THE DEPTH TO THE UNDERSIDE OF ALL FOOTINGS MUST MAINTAIN A MINIMUM COVER BELOW THE FINISHED GRADE OF 1.22m FOR FROST PROTECTION IN ACCORDANCE WITH OPSD 3090.101.
- ANY ELEVATION DISCREPANCIES FOR STORM OR SANITARY SERVICE CONNECTIONS MUST BE REPORTED TO THE DEVELOPER'S ENGINEER AND GRIT ENGINEERING INC. PRIOR TO COMPLETING THE CONNECTIONS AND BACKFILLING.
- THE CONTRACTOR SHALL EXTEND THE BUILDING SERVICES TO THE PROPOSED HOUSE LOCATION PRIOR TO EXCAVATING FOR THE FOUNDATION.
- WEEPING TILES ARE TO OUTLET TO THE SUMP PIT AND BE PUMPED TO GRADE OR STORM SERVICE, IF AVAILABLE.

- THE CONTRACTOR SHALL CONFIRM THE BUILDING DIMENSIONS AND UNPROTECTED OPENING REQUIREMENTS WITH THE APPROVED ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION COMMENCING.
- PREVENTATIVE BASEMENT FLOODING REQUIREMENTS ARE TO BE CONFIRMED WITH THE APPROVAL AUTHORITY WHEN OBTAINING THE BUILDING PERMIT.
- A MINIMUM OF 150mm FROM THE TOP OF THE FOUNDATION TO THE FINISHED ELEVATION OUTSIDE THE BUILDING IS REQUIRED.
- THE EXISTING DRAINAGE OF ABUTTING LANDS IS NOT TO BE DISTURBED WITHOUT PRIOR WRITTEN PERMISSION FROM THE ADJACENT LANDOWNER AND APPROVED BY THE APPROVAL AUTHORITY.
- RETAINING WALLS 1,000mm OR GREATER IN HEIGHT AND ANY REQUIRED GUARD RAILS ARE TO BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
- THE CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION.
- A GEOTECHNICAL INVESTIGATION/REVIEW IS REQUIRED PRIOR TO ANY FOOTING BEING PLACED ON ENGINEERED FILL.
- SEALED FOR GRADING ONLY ON SUBJECT LOT.

BUILDING NOTES:

TOP OF FOUNDATION = 187.54
 FIRST FLOOR ASSEMBLY HEIGHT = 1'-0"
 FINISHED FLOOR ELEVATION = 187.84
 GARAGE FINISHED FLOOR = 187.35
 UNDERSIDE OF FOOTING @ FRONT OF HOUSE = 184.39
 NUMBER OF RISERS FROM GARAGE TO FINISHED FLOOR = 0.000
 FOUNDATION WALL HEIGHT = 9'-10"
 FOOTING HEIGHT = 0'-6"

BENCHMARK (GEODETIC)
 ELEVATIONS ARE DERIVED FROM THE CANNET REALTIME NETWORK, NAD 83 CSRS(2010)

BENCHMARK (SITE)

I HEREBY CERTIFY THAT THE PROPOSED GRADING AND APPURTENANT DRAINAGE WORKS COMPLY WITH SOUND ENGINEERING DESIGN AND THAT THE PROPOSED GRADING IS IN CONFORMITY WITH THE ACCEPTED SUBDIVISION GRADING PLANS FILED WITH THE APPROVAL AUTHORITY/SUBDIVISION AGREEMENT.

PRELIMINARY

Zone Change Request #2

File: C:\Users\grit\Documents - grit\grit\2024\0387-2.3\0387-2.3\0387-2.3.dwg by: dave.greene, 2024-10-08

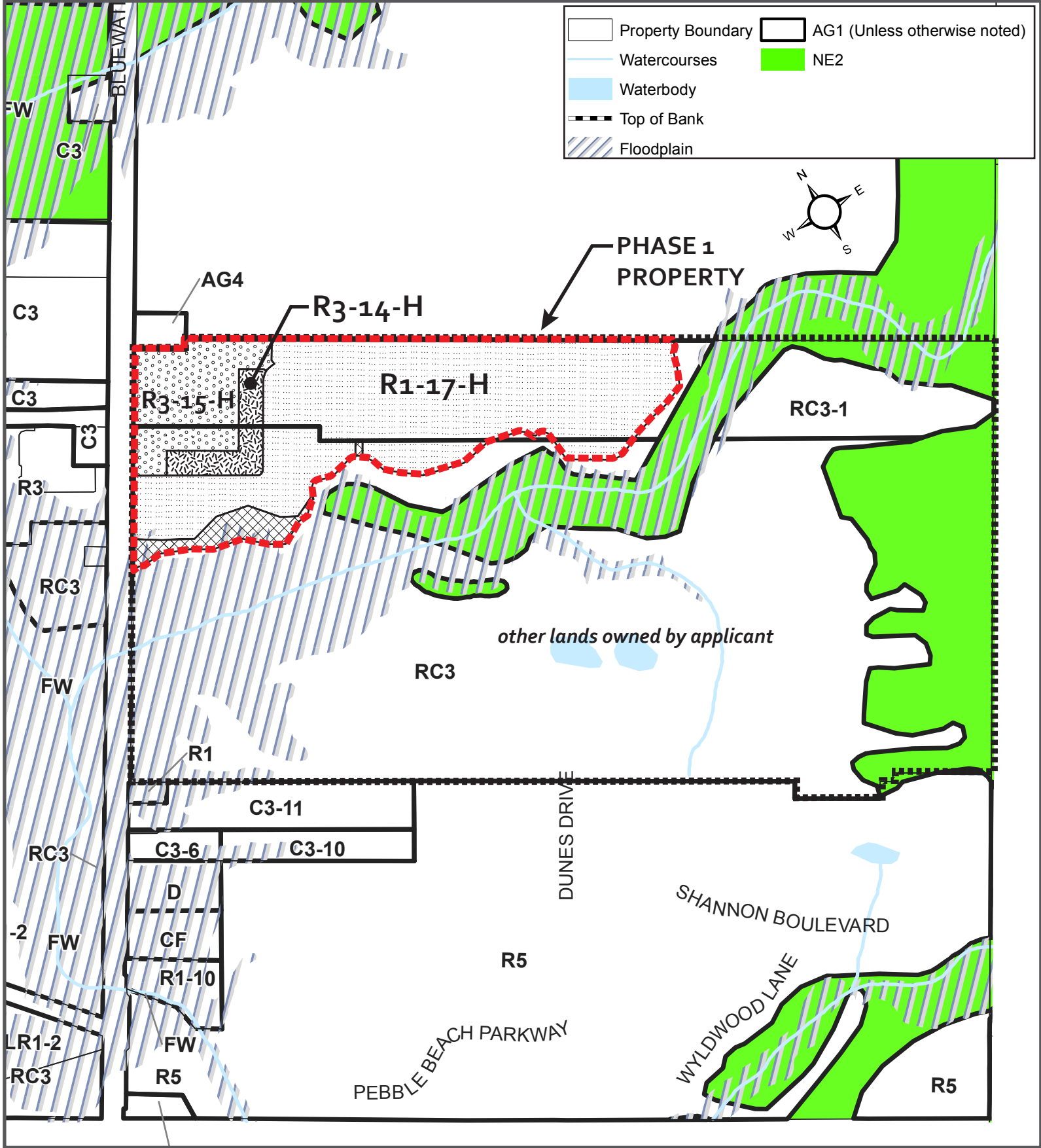


Figure:

9

PROPOSED ZONING

Site Location: 70786 Bluewater Highway, South Huron, ON
 Client Name: Tridon Properties Ltd.



BAKER
 Planning Group